

BUILDING CONSENT NO: 97/0576

Project Information Memorandum No:

ISSUED BY

Section 35, Building Act 1991

ROTORUA DISTRICT COUNCIL

FILE

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: MR G MANNERS Mailing Address: C/O PROFILE BUILDINGS P O BOX 1832 ROTORUA	All ☐ Stage No ☒ of an intended stages of: New Building ☐ Alteration ☐
PROJECT LOCATION Street Address: 20 WILLOW AVE ROTORUA	Intended Use(s) (in detail): GARAGE / CARPORT NEW GARAGE/CARPPORT Intended Life: Indefinite, but not less than 50 years ☒ Specified as years Demolition ☐ Estimated Value: \$ 9,000.00
LEGAL DESCRIPTION Property Number: 15169 Valuation Roll Number: 06993/618.00 Lot: 29 DP: 33114 Section: Block: Survey District:	
COUNCIL CHARGES The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ 0.00 ALL FEES ARE G.S.T. INCLUSIVE	Signed for and on behalf of the Council: Name: <u>[Signature]</u> Position: <u>Admin-Building</u> Date: <u>4 / 6 / 97</u>

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached _____ pages, headed "Conditions of Building Consent No _____"

N.A.R.

CODE COMPLIANCE CERTIFICATE NO: 97/0576

Section 43(3), Building Act 1991

ISSUED BY: ROTORUA DISTRICT COUNCIL

BUILDING CONSENT NO: 97/0576

FILE
P15169

(Insert a cross in each applicable box. Attach relevant documents.)

PROJECT		PROJECT LOCATION
All	☒	Street Number:
Stage No. of: of an intended stages		MR G MANNERS ✓ 20 WILLOW AVE ROTORUA
New or relocated building	☐	
Alteration	☒	
Intended use(s) (in detail): GARAGE / CARPORT NEW GARAGE / CARPORT		
Intended Life:		
Indefinite, but not less than 50 years	☐	
Specified as years	☒	
Demolition	☐	

LEGAL DESCRIPTION	
Property Number:	15169
Valuation Roll Number:	06993/618.00
Lot:	29
DP:	33114
Section:	
Block:	
Survey District:	

This is:

☒ A final code compliance certificate issued in respect of all of the building work under the above building consent

☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent

☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No " (being this certificate).

The Council charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: \$ 0.00

Receipt No:

Signed for and on behalf of the Council:

Name: Janette McKnight

Position: Admin Assistant Building Date: 25/02/98

BUILDING SERVICES

FILE

FIELD INSPECTION CARD

Application No: 97/0576 Date Consent Issued: 4.6.90

OWNER: Manners

BUILDER: Profile Building 3

SITE: 20 Willow Avenue

PLUMBER:

VALAUTION NO: 06993/618.00

DRAINLAYER: Cheater Bros

FILE NO: P 15169

LOT NO: 29 OPS 33114

DESCRIPTION OF PROPOSED WORK:

Garage/Carport

[illegible]

Valuation No. 6993/618

Lot No. 29

Blk./Sctn.

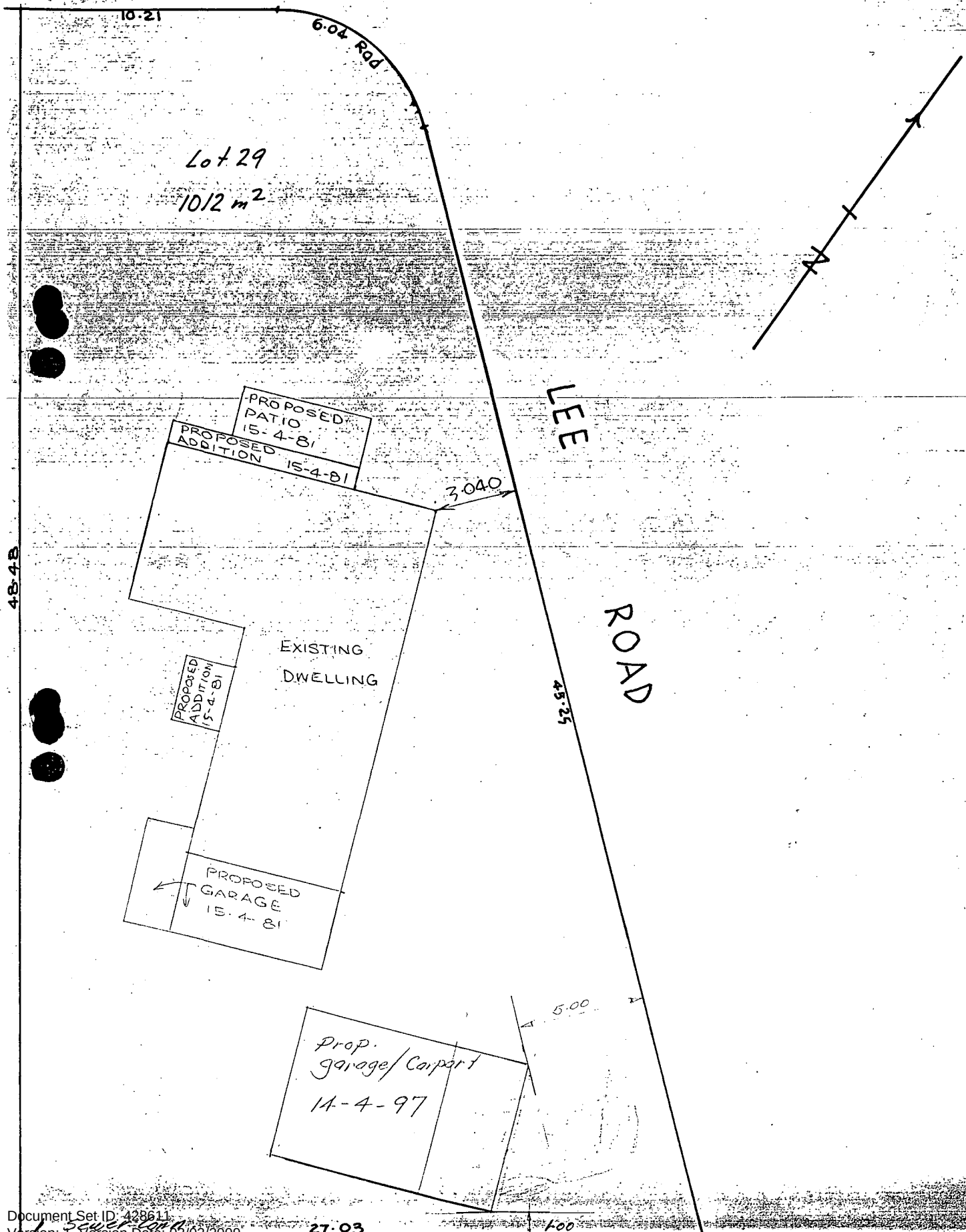
S.D. XIV ROTORUA

D.P. 33114

Street No.

Scale: 1 : 200

WILLOW AVENUE



Valuation No. 6993/618

Lot No. 29

Blk./Sctn.

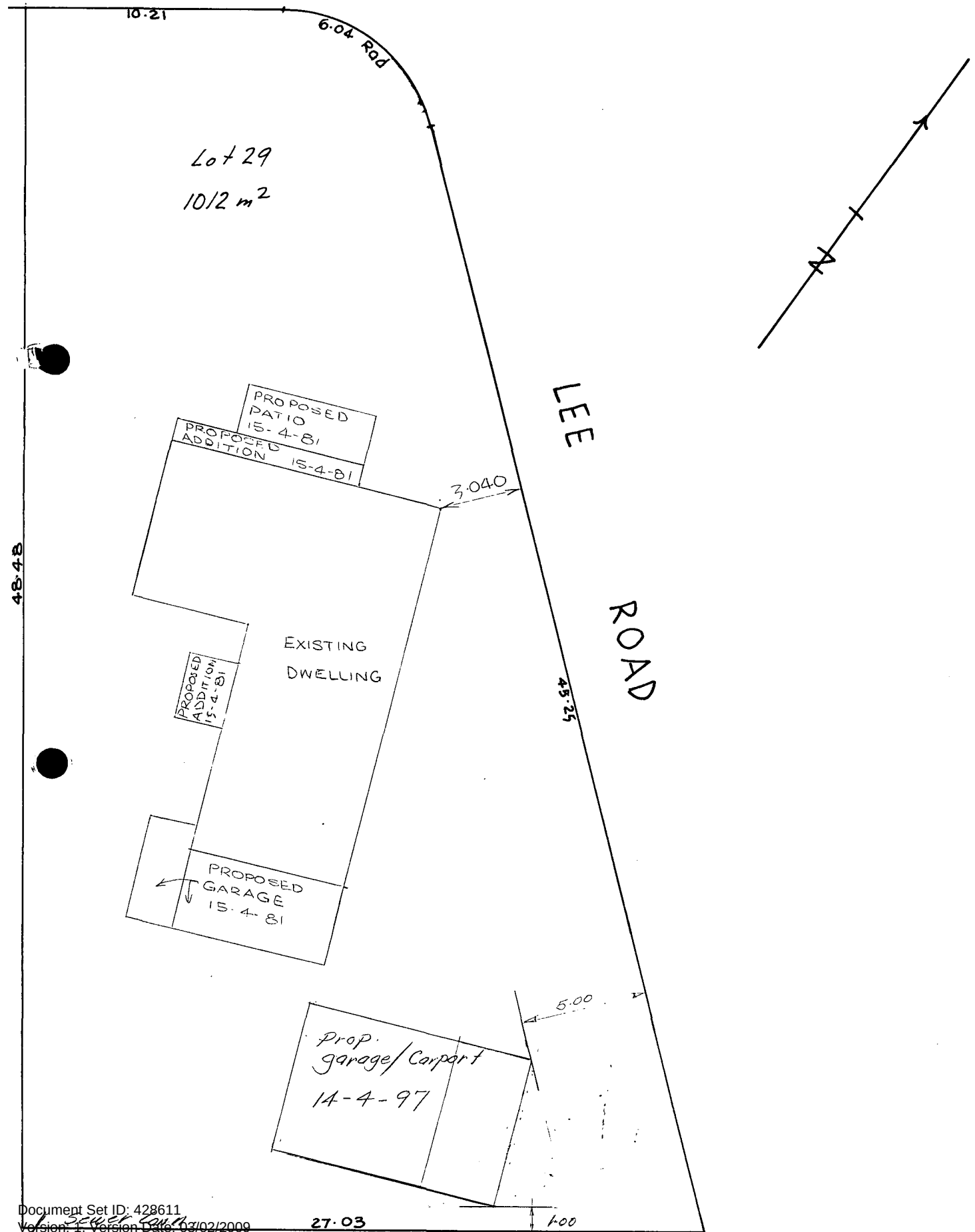
S.D. XIV ROTORUA

D.P. 3 3 1 1 4

Street No.

Scale: 1 : 200

WILLOW AVENUE

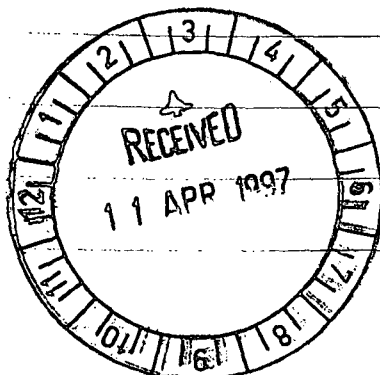


BUILDING CONSENT PROCESSING SHEET P15169

CONSENT NUMBER: 60/97/ 0576 DATE RECEIVED: 11-4-97

SITE ADDRESS: 20 Willow Ave INV 24/4

ACTION / OFFICER	REVIEW	DATE	TIME TAKEN	APPRO	DATE
Check Appln - Bldg Officer	<i>12/04</i>		Hours ____ Min. <u>5</u>		
Prepare File & Data Entry			Hours ____ Min. <u>15</u>	<u>LS</u>	<u>14-4-97</u>
C.P.C. Planning <i>ROSB</i>	<i>DH</i>	<u>14/4</u>	Hours ____ Min. ____	<i>[Signature]</i>	<u>2/4/97</u>
Drafting			Hours ____ Min. <u>15</u>	<i>[Signature]</i>	<u>14-4-97</u>
Controlled Activity / Resource Consent			Hours ____ Min. ____	<i>[Signature]</i>	<u>2/4/97</u>
Environmental Health			Hours ____ Min. <u>5</u>	<i>[Signature]</i>	<u>15-4-97</u>
Dangerous Goods/Geoth			Hours ____ Min. <u>5</u>	<i>[Signature]</i>	<u>15-4-97</u>
Pollution Control Officer			Hours ____ Min. ____		
Plumbing & Drainage	<i>WJ</i>	<u>16-4-97</u>	Hours ____ Min. <u>10</u>	<i>WJ</i>	<u>16-4-97</u>
Recreation & Community			Hours ____ Min. ____	<i>WJ</i>	<u>16-4-97</u>
Resource Engineer			Hours ____ Min. <u>5</u>	<i>[Signature]</i>	<u>23-4-97</u>
Land Fill			NO <u>UNKNOWN</u>		
Flood Prone			NO <u>UNKNOWN</u>		
Building Officer			Hours ____ Min. <u>5</u>	<i>[Signature]</i>	<u>24-4-97</u>
Update Date Entry			Hours ____ Min. ____		
Issue Tax Invoice			Hours ____ Min. ____		
Issue Building Consent			Hours ____ Min. ____		
Fax Costs			Hours ____ Min. ____		
			Hours ____ Min. ____		
			Hours ____ Min. ____		
			Hours ____ Min. ____		
			Hours ____ Min. ____		



RC
MC

Mr G Mannes
c/- Profile Buildings
PO Box 1832
Rotorua

PLEASE QUOTE: P15169

Dear Sir

NOTICE TO SUSPEND PROCESSING OF CONSENT APPLICATION BUILDING
REGULATIONS 1992 SECTION 6 (2)

Appn No: 97,0576 - Proposed Garage/Carport

Street Address: 20 Willow ~~St~~ Ave

Receipt of your building consent application is acknowledged. You are hereby notified that the processing of this consent is suspended on the following grounds:

COMMENTS

planning

your site plan shows that the proposed carport is going to be situated ^{1 metre} ~~closer than 2.5 metres~~ from the rear legal boundary, where 2.5 metres is required. you will therefore need to apply for a resource consent for which the forms are attached. you will also need to obtain neighbour consent from ^{Bartle} ~~price~~, ^{BO} ~~so-ss~~ Lee Rd.

Thank you for your resource consent application which is being processed.

ROTORUA DISTRICT COUNCIL

APPLICATION FOR A BUILDING CONSENT

Section 33, Building Act 1992
(Attach all relevant documents in duplicate)

APPLICATION NUMBER 97/0576



PART A : GENERAL

(Complete Part A in all cases)

1. OWNER

2. CONTACT (If not owner)

Name <u>Mr. G. Manners</u>	Contact Name <u>Profile Buildings</u>
Postal Address <u>20 Willow Ave</u> <u>Rotorua</u>	Postal Address <u>P.O. Box 1832</u> <u>Rotorua</u>
Phone Number	Phone Number <u>3463821</u>
Fax Number	Fax Number

3. PROJECT LOCATION

Address: 20 Willow Ave

4. LEGAL DESCRIPTION

Valuation Number <u>6993 - 618</u>		OFFICE USE ONLY	
Property ID: <u>P15169</u>			
Lot(s) <u>29</u> (Section)	DP/S <u>33114</u> (Block)	Lot Area(s) <u>1012m²</u> m ² /ha	No. of new toilets/urinals

5. PROJECT

5.1 New Building ☒	5.2 Intended Life Indefinite but not less than 50 yrs ☒	5.3 Description of Work: <u>New Garage / Carport</u>
Alteration ☐	or	5.4 Intended Use(s) (in detail) <u>Garaging</u>
Relocation ☐	Specified as ☐ yrs	5.5 Estimated Value: \$ <u>9000-</u> (GST INCL)
Demolition ☐		

☐ Application for Building Consent only, in accordance with Project Information Memorandum No.

☒ Application for Building Consent and Project Information Memorandum.

Signed by the owner/owner's agent:

Signature: [Signature]

Name: MANNERS G.N. Date: 25 MARCH 1997
(PLEASE PRINT)

Office Use Only TARGET DATE <u>29 / 4 / 1997</u>
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PART B : PROJECT DETAILS

6. (Complete Part B only if you have NOT applied separately for a project information memorandum).

The project involves the following matters; tick each applicable box, if any, and attach relevant information in duplicate.

- (a) ☒ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings. (Site Plan with elevations, Topography, drawn to scale, Elevations in relation to natural ground level and proposed finish level).
- (b) ☐ Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, geothermal, hazardous contaminants on or near the site.
- (c) ☐ Provision to be made for vehicular access, including parking and materials used. (To be shown on site plan).
- (d) ☐ Provisions to be made in building over or adjacent to any road or public place.
- (e) ☐ Provisions to be made for disposing of stormwater and wastewater. (To be shown on site plan).
- (f) ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain.
- (g) ☐ New connections to public utilities, i.e. water supply, stormwater system, wastewater system.
- (h) ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, suppression of noise, disposal of debris and disconnection from public utilities.
- (i) ☐ Details of any cultural or heritage significance of the building or building site, including whether it is on a marae, or waahi tapu.
- (j) ☐ Copy or reference to, of any resource consent or planning approval for this project.
- (k) ☐ Details of volume of Proposed Excavations: Include volumes for Site Preparation, Basement, and Driveway.

PART C : PROJECT DETAILS

(Complete Part C in all cases)

This application is accompanied by (tick each applicable box, attach relevant documents in duplicate).

- 7. ☒ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provision of the New Zealand Building Code, with supporting documents, if any, including:
- 8. ☐ Building certificates
- 9. ☐ Producer statements
- 10. ☐ References to accreditation certificates issued by the Building Industry Authority.
- 11. ☐ References to determinations issued by the Building Industry Authority.
- 12. ☐ Proposed procedures, if any, for inspection during construction.

ROTORUA DISTRICT COUNCIL

APPLICATION FOR A BUILDING CONSENT

Section 33, Building Act 1992
(Attach all relevant documents in duplicate)

APPLICATION NUMBER 97/062



PART A : GENERAL

(Complete Part A in all cases)

1. OWNER

2. CONTACT (If not owner)

Name <u>Mr C. Manners</u>	Contact Name <u>Office Buildings</u>
Postal Address <u>20 Lilla Ave</u>	Postal Address <u>P.O. Box 1832</u>
<u>Rotorua</u>	<u>Rotorua</u>
Phone Number <u>3457673</u>	Phone Number
Fax Number	Fax Number

3. PROJECT LOCATION

Address: 20 Lilla Ave

4. LEGAL DESCRIPTION

Valuation Number <u>6993/618</u>		OFFICE USE ONLY	
Property ID: <u>P15169</u>			
Lot(s) <u>29</u> (Section)	DP/S <u>35742</u> (Block) <u>33114</u>	Lot Area(s) <u>607</u> m ² /ha	No. of new toilets/urinals

5. PROJECT

5.1 New Building ☒	5.2 Intended Life Indefinite but not less than 50 yrs ☐	5.3 Description of Work: <u>New Garage/Carport</u>
Alteration ☐	or	5.4 Intended Use(s) (in detail) <u>Garaging</u>
Relocation ☐	Specified as ☐ yrs	5.5 Estimated Value: \$ <u>9250.00</u> (GST INCL)
Demolition ☐		

- ☒ Application for Building Consent only, in accordance with Project Information Memorandum No.
- ☒ Application for Building Consent and Project Information Memorandum.

Signed by the owner/owner's agent:

Signature: [Signature]

Name: A. Timmer Date: 15-4-97
(PLEASE PRINT)

Office Use Only

TARGET DATE

11 5 1 97

PART B : PROJECT DETAILS

6. (Complete Part B only if you have NOT applied separately for a project information memorandum).

The project involves the following matters; tick each applicable box, if any, and attach relevant information in duplicate.

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- (g) ☐ New connections to public utilities, i.e. water supply, stormwater system, wastewater system.
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- (j) ☐ Copy or reference to, of any resource consent or planning approval for this project.
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PART C : PROJECT DETAILS

(Complete Part C in all cases)

This application is accompanied by (tick each applicable box, attach relevant documents in duplicate).

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 - 8. ☐ Building certificates
 - 9. ☐ Producer statements
 - 10. ☐ References to accreditation certificates issued by the Building Industry Authority.
 - 11. ☐ References to determinations issued by the Building Industry Authority.
 - 12. ☐ Proposed procedures, if any, for inspection during construction.

PART D

(Complete as far as possible in all cases)

Give names, addresses, telephone numbers. Give relevant numbers if known.

13.	DESIGNER(S) Name: Address: Phone Number: Fax Number:	Profile Buildings P.O. Box 1832 Rotorua
	BUILDER Name: Address: Phone Number: Fax Number:	Profile Buildings P.O. Box 1832 Rotorua
	DRAINLAYER Name: Reg. No. Address: Phone Number: Fax Number:	Chester Bros 24 B Barnum Rd
	PLUMBER Name: Reg. No. Address: Phone Number: Fax Number:	

If more than number allowed for, please provide details on a separate sheet.

14.	
Floor Area of Proposed Work	Area square metres 54m²
Buildings Other Than Detached Accessory Buildings:	sq.m.
Floor	sq.m.
Basement	sq.m.
Ground Floor	sq.m.
First Floor	sq.m.
Second Floor	sq.m.
Additional Floors (Total)	sq.m.
Mezzanine	sq.m.
Decks	sq.m.
Total	sq.m.
Detached Accessory Buildings:	Area square metres
Garage	sq.m.
Carport	sq.m.
Other Buildings	sq.m.
Total	sq.m.

FOR OFFICE USE ONLY

applied office
2011 01 09

FEES		
Fees paid on Application	\$	c
Plan Review 5198199 15/4 100		—
Project Information Mem.		
TOTAL FEE GST incl.		
Fees payable on approval	\$	c
Building Consent		
Footpath Damage Deposit		
Crossing Deposit		
BRANZ Levy		
B.I.A. Levy		
Water Connection		
Sewer Connection		
Disconnection of Services		
Controlled Activity Fee		
Controlled Activity Bond		
Reserve/ Development Contribution		
Photocopying		
Structural Check		
Resiting Bond		
Service Lane Information		
Other		
APPROVAL TOTAL		

CONSENT ISSUE AUTHORITY	
Receipt No.	
Date of Issue	
Authorised By	
Date authorised	

REFERRALS	
SENT	RETURNED
Structural	

AMENDED DETAILS RECEIVED		
	DATE	SIGN
Planning		
Health		
P & D		
Trade Waste		
Rec & Com		
DG/GEO		
Res Eng		
Building		
Structural		

PART D

(Complete as far as possible in all cases)

Give names, addresses, telephone numbers. Give relevant numbers if known.

13. DESIGNER(S) Profile Buildings

Name: P.O. Box 1832

Rotorua

Address:

Phone Number: Fax Number:

BUILDER Profile Buildings

Name: P.O. Box 1832

Rotorua

Address:

Phone Number: Fax Number:

DRAINLAYER

Name: Cheater Bros

Reg. No.

Address: 24 B Bannan Rd

Phone Number: Fax Number:

PLUMBER

Name: Reg. No.

Address:

Phone Number: Fax Number:

If more than number allowed for, please provide details on a separate sheet.

1.	
Floor Area of Proposed Work	Area square metres 54m ²
Buildings Other Than Detached Accessory Buildings:	sq.m.
Floor	sq.m.
Basement	sq.m.
Ground Floor	sq.m.
First Floor	sq.m.
Second Floor	sq.m.
Additional Floors (Total)	sq.m.
Mezzanine	sq.m.
Decks	sq.m.
Total	sq.m.
Detached Accessory Buildings:	Area square metres
Garage	sq.m.
Carport	sq.m.
Other Buildings	sq.m.
Total	sq.m.

FOR OFFICE USE ONLY

applied 11/4/97
S215940

FEES		
Fees paid on Application	\$	c
Plan Review ^{S196679} _{11/4}	100	00
Project Information Mem.		
TOTAL FEE GST incl.		
Fees payable on approval	\$	c
Building Consent ^{S198199} _{15/4}	100	00
Footpath Damage Deposit		
Crossing Deposit		
BRANZ Levy		
B.I.A. Levy		
Water Connection		
Sewer Connection		
Disconnection of Services		
Controlled Activity Fee ^{PD} _{S215940}	65	00
Controlled Activity Bond		
Reserve/ Development Contribution		
Photocopying		
Structural Check		
Resiting Bond		
Service Lane Information		
Other		
APPROVAL TOTAL	165	—

CONSENT ISSUE AUTHORITY	
Receipt No.	S215940
Date of Issue	4-6-97
Authorised By	<i>[Signature]</i>
Date authorised	24-4-97

REFERRALS	
SENT	RETURNED
Structural	

AMENDED DETAILS RECEIVED		
	DATE	SIGN
Planning		
Health		
P & D		
Trade Waste		
Rec & Com		
DG/GEO		
Res Eng		
Building		
Structural		

Lot No. 29

Blk./Scn.

S.D. XIV ROTORUA

D.P. 33114

Street No.

Scale: 1 : 200

WILLOW AVENUE

10.21

6.04 Rad

PROPOSED
PATIO
15-4-81

PROPOSED
ADDITION
15-4-81

3.040

LEE

PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH

Date 4-6-92 Consent Number 92/0576

Officer Plumera (LS)

ROAD

4.5.25

EXISTING
DWELLING

PROPOSED
ADDITION
15-4-81

PROPOSED
GARAGE
15-4-81

9m

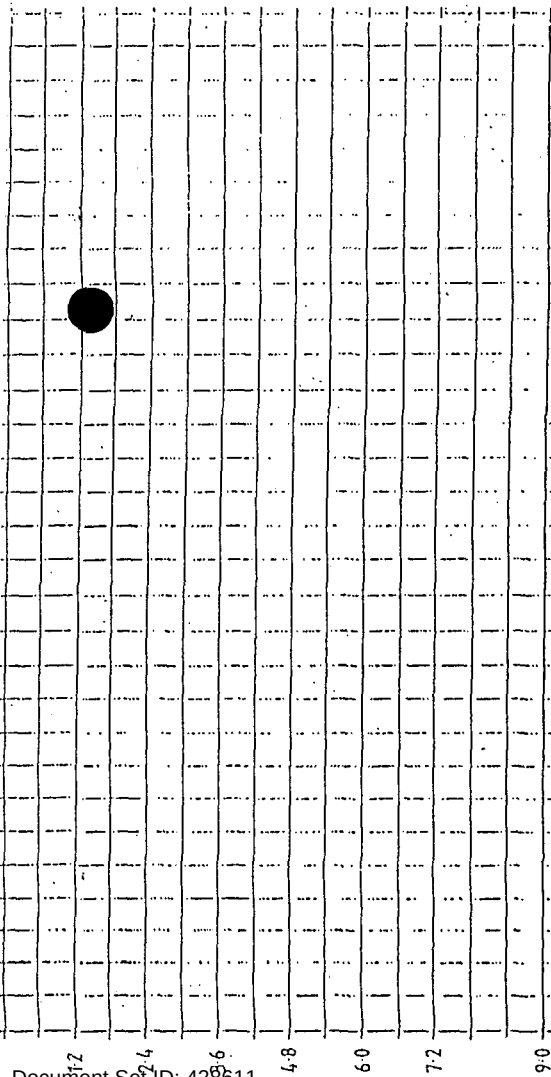
5m

6m

Proposed
Garage/Carport

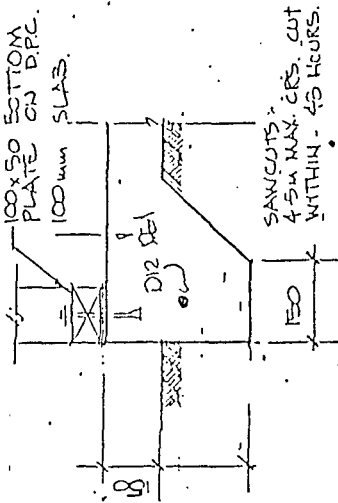
LOT 29
1012m²

15-4-92

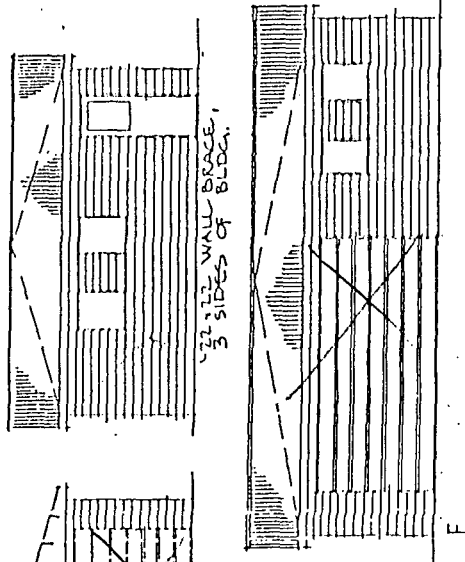


CONCRETE FOOTING - DETAIL 1
1:10

PLAN
1:100



CONCRETE FOOTING - DETAIL 2
1:10



ELEVATIONS 1:100

SPECIFICATION

FOUNDATIONS Concrete floor 17.5MPa 100mm thick;

TIE DOWNS 2-3-55 galv wire or 10mm dia x 160 galv bolts cast-in or D12098 Dynabolts at max 1200 crs.
DAMP COURSE 2 Ply D.P.C. under all plates.
FRAMING All framing is housed, ie studs checked into plates & brangs checked into studs, all studs at 600 crs
Max height of 3-0m - 100x50, 3-6m - 150x50.

SIDE ENTRY OPENING LINTELS

Max span 2-2 150x100 lintel
Max span 3-0 200x100 lintel
Max span 4-5 300x100 lintel
Max span 4-8 300x100 lintel
Trusses butted to lintel with 92x47 lumberlok joist hanger
Side door timber framed-steel clad each side. Over doors 0-4mm metal panel on overhead garage door rear or roller doors.

DOORS

DOOR BEAMS

WALL BRACES

ROOF TRUSSES

TRUSS STIFFENER

PURLINS

DRAGON TIES

ROOFING

SPOUTING

EXTERIOR CLADDING

Gable overdoor openings have standard truss lintel, see under Roof trusses.

Steel angle brace 27x22 cut into plates & studs, as NZS 3604.

Design cert. CH 3083. All trusses at 15° unless specified otherwise Max. spacing 1800crs at 0.6 kPa snow load

Up to 6-0m span 1row 100x50 on edge

Over 6-0m span 2rows 100x50 on edge

100x50 on edge at max 900 crs

100x50 on flat over top plate at each corner. Applies to buildings up to 5.4 x 5.4, then strap bracing is used.

0-4mm steel longlin Rib Roof, 0-4mm steel ridge capping.

0-55mm gutters 250 wide each side of garage, color steel.

Profile Colorsteel Superclad 300'

built by:

built for:

content:

PROPOSED GARAGE

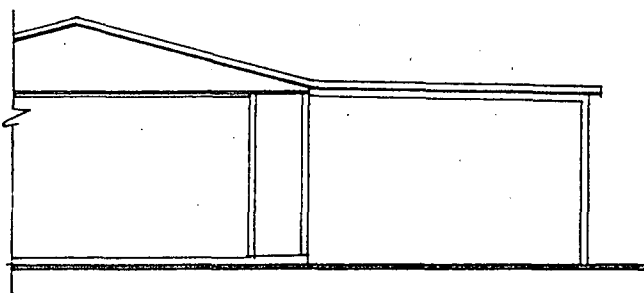
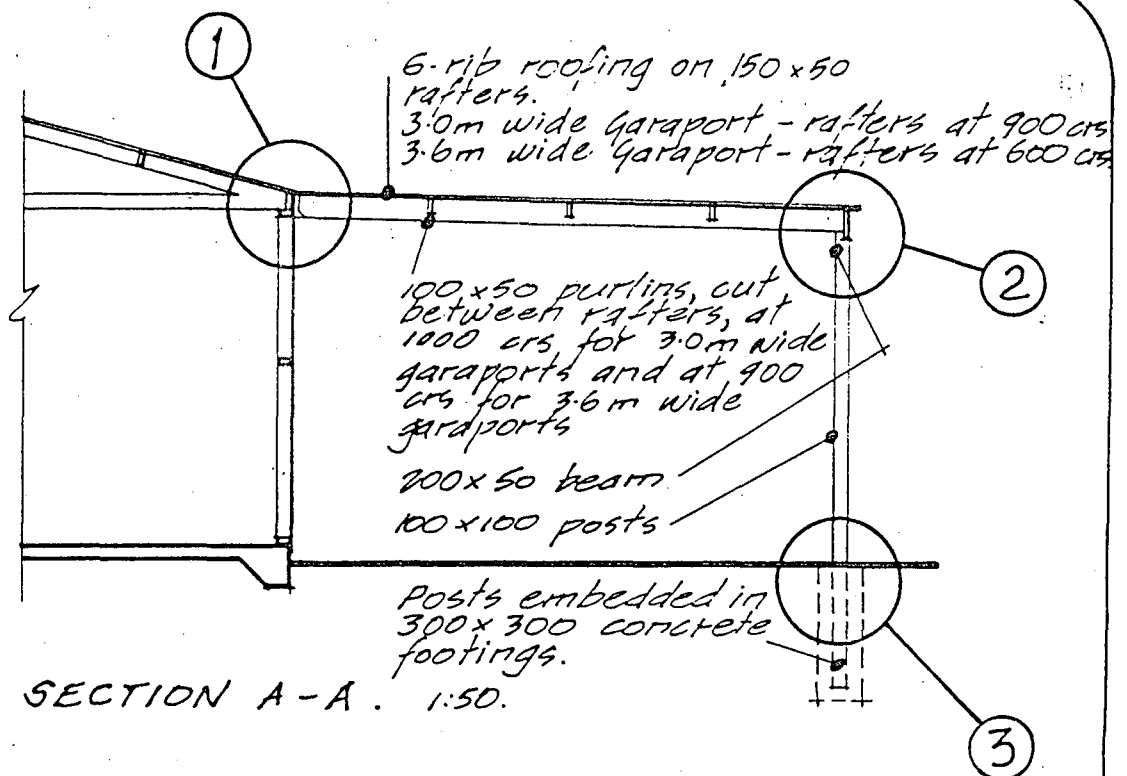
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date:

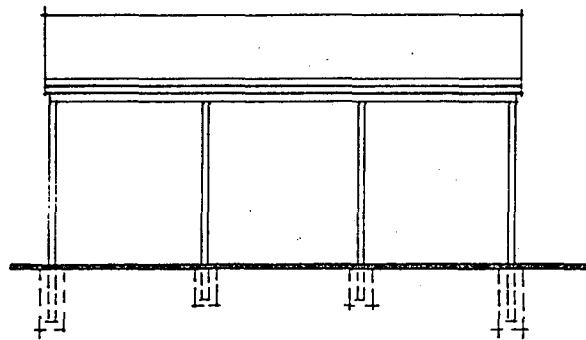
file:

VERSATILE GARAGES 1

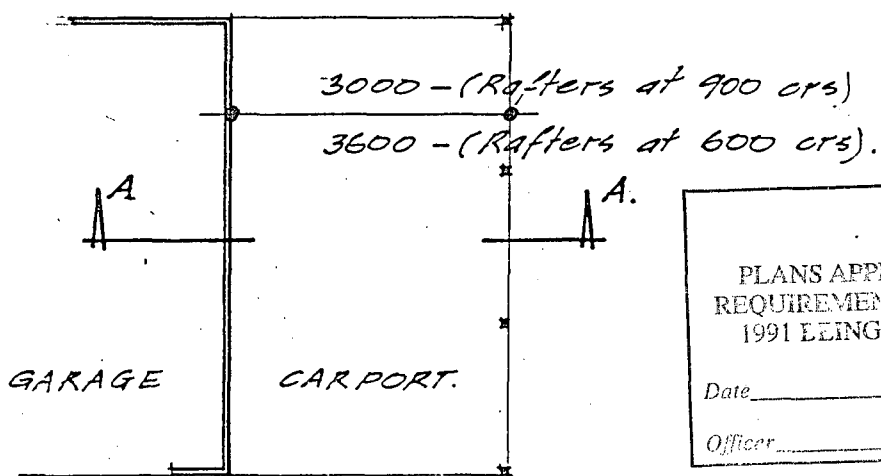




FRONT ELEVATION



SIDE ELEVATION.



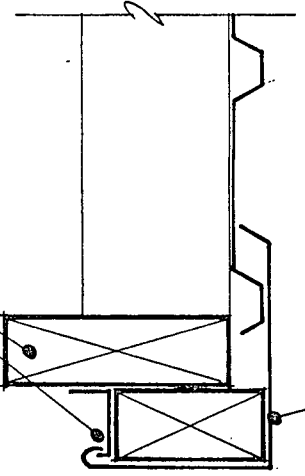
PLAN 1:100

PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH

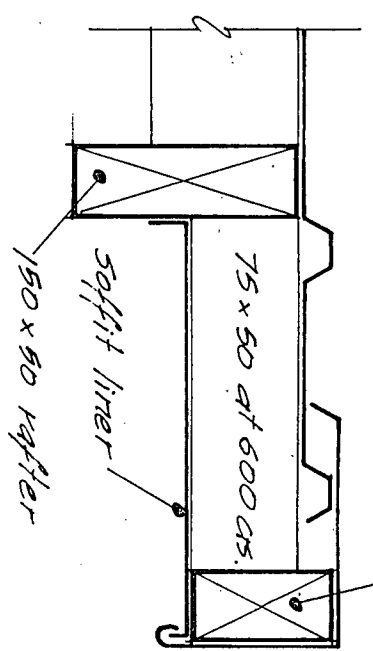
Date _____ Consent Number _____

Officer _____

Roll-formed barge over
100x50 barge nailer

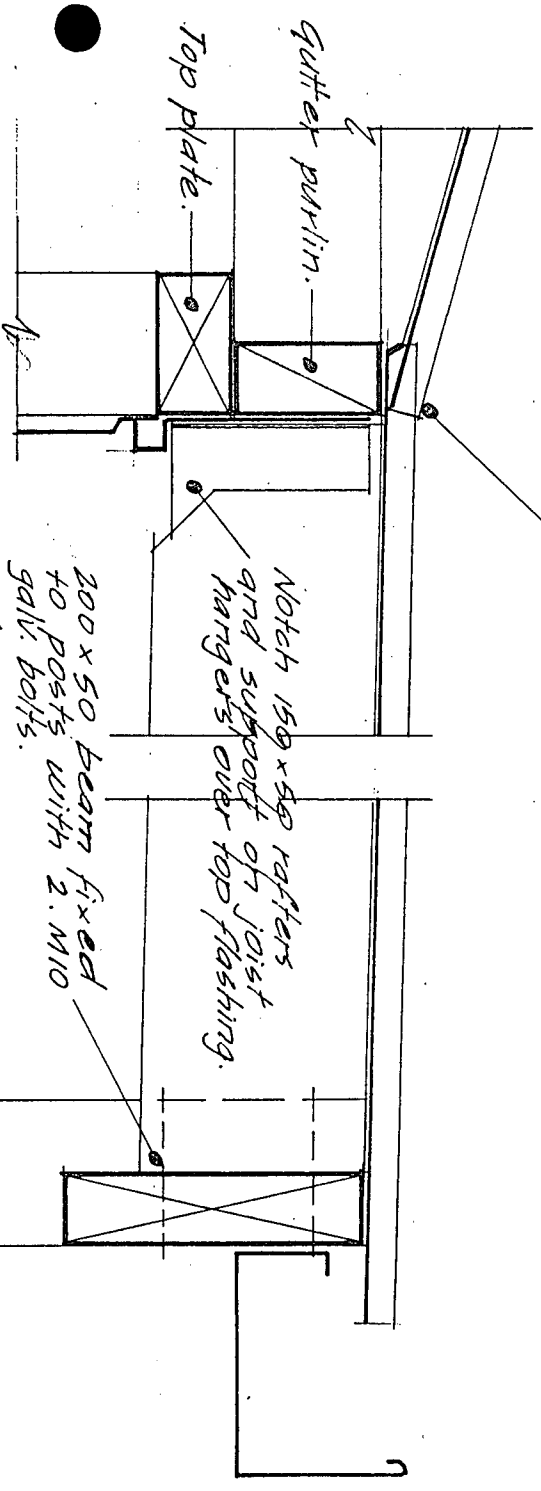


100x50 barge nailer
supported off end
of 200x50 beam.



BARGE DETAILS.

Versatile 6-rib roofing
with troughs turned up
under garage roofing.

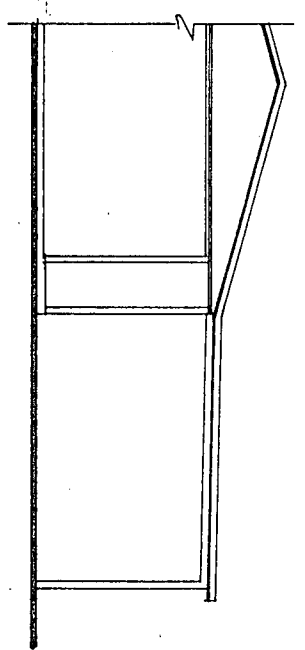
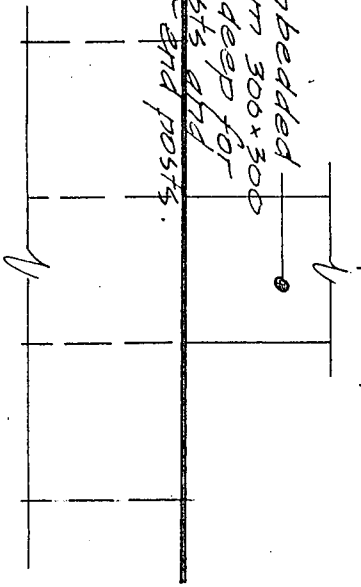


1

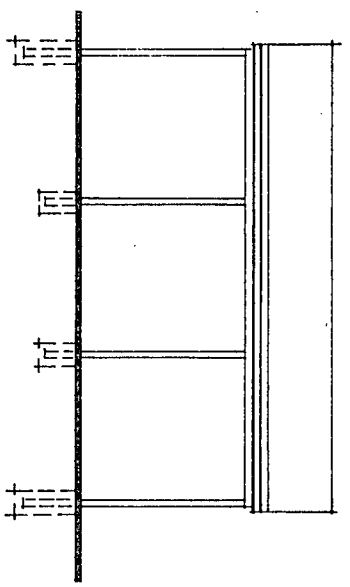
2

3

100x100 post embedded
in concrete. Form 300x300
post holes, 600 deep for
intermediate posts and
400 mm deep for end posts.

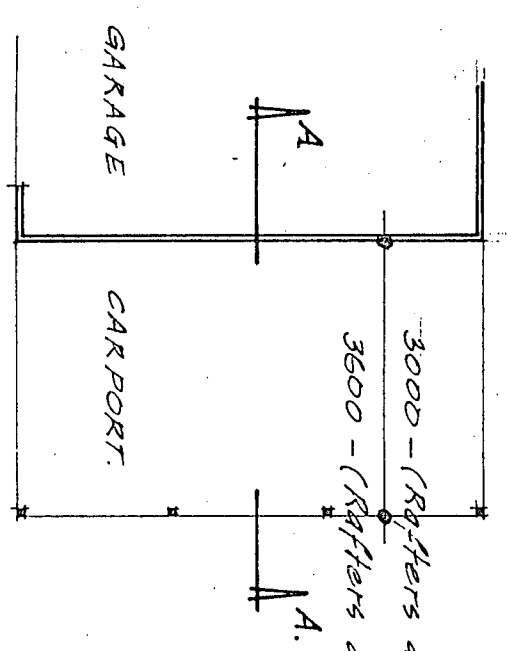
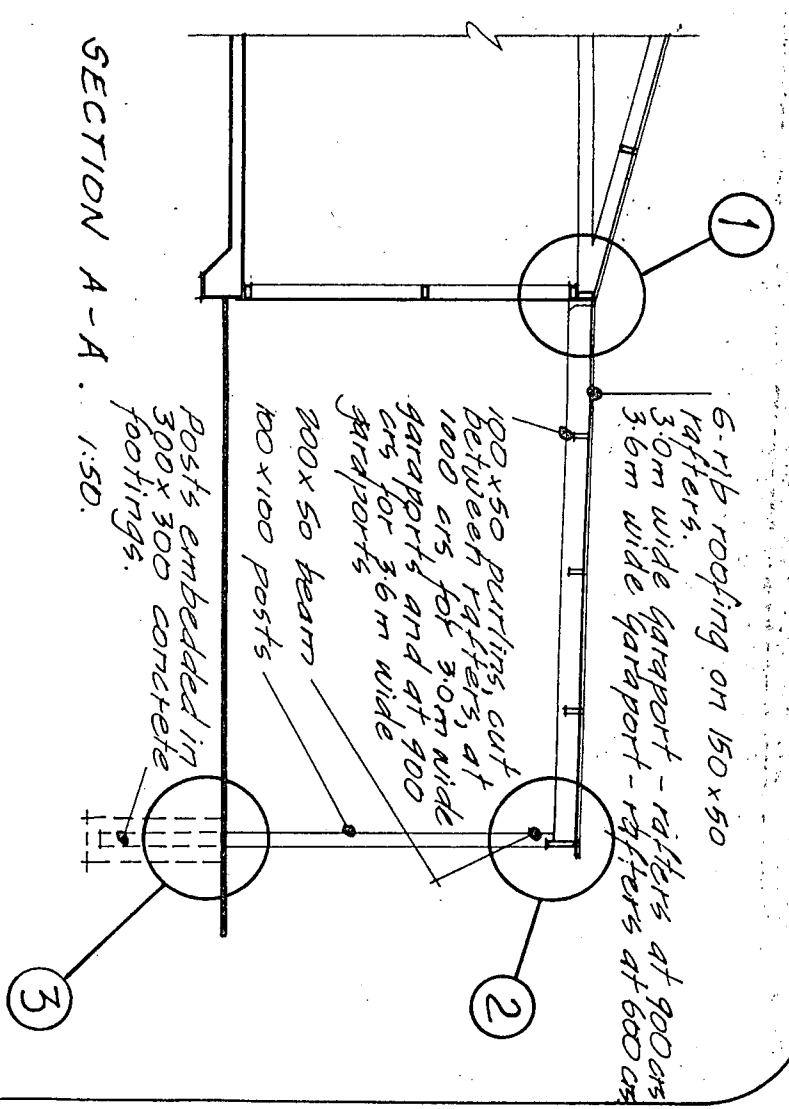


FRONT ELEVATION



SIDE ELEVATION.

SECTION A-A . 1:50.



PLAN 1:100

PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH

Date _____ Consent Number _____

Officer _____

Lot No. 29

Blk./Sctn.

S.D. XIV ROTORUA

D.P. 33114

Street No.

Scale: 1 : 200

VILLOW AVENUE

10.21

6.04 Rad

LEE
ROAD

3.040

4.5.25

PLANS APPROVED SUBJECT TO ALL
REQUIREMENTS OF THE BUILDING ACT
1991 BEING FULLY COMPLIED WITH

Date 4-6-97 Consent Number 97/0576

Officer Pharmacia (CD)

PROPOSED
PATIO
15-4-81
PROPOSED
ADDITION
15-4-81

EXISTING
DWELLING

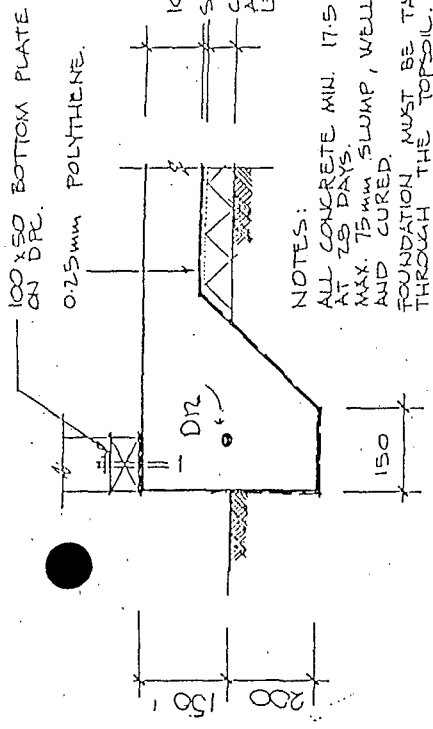
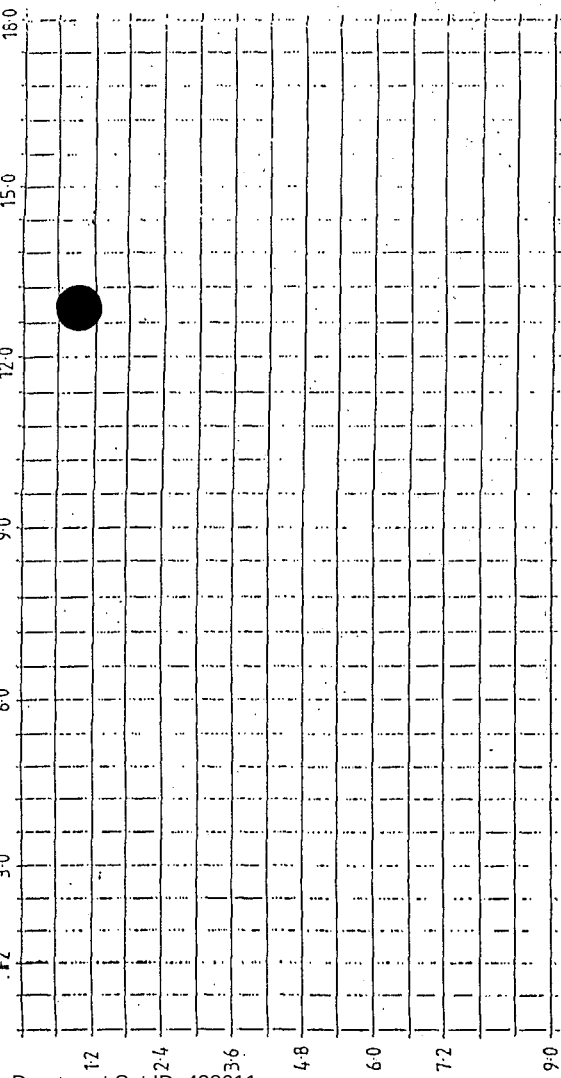
PROPOSED
ADDITION
15-4-81

PROPOSED
GARAGE
15-4-81

9m
6m
Proposed
Garage/Carport

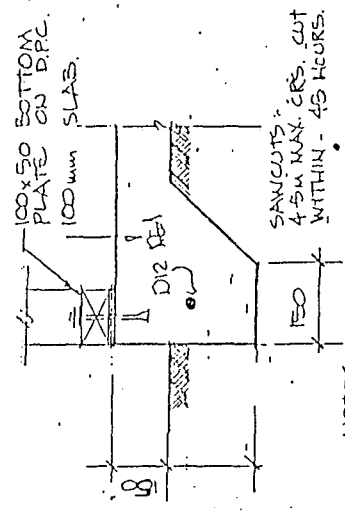
LOT 29
1012m²

27.03



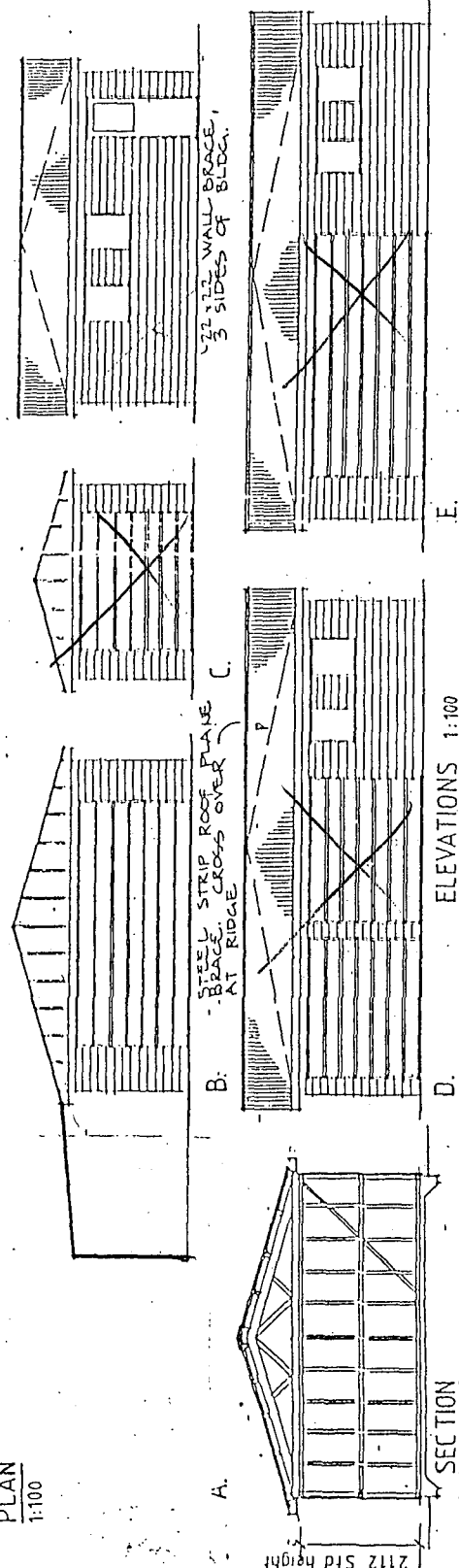
NOTES:
ALL CONCRETE MIN. 17.5 MPa STRENGTH AT 28 DAYS.
MAX. 75mm SLUMP, WELL VIBRATED AND CURED.
FOUNDATION MUST BE TAKEN THROUGH THE TOPSOIL.

CONCRETE FOOTING - DETAIL 1
1:10



NOTES:
ALL CONCRETE MIN. 17.5 MPa STRENGTH AT 28 DAYS. MAX 75mm SLUMP, WELL VIBRATED AND CURED.
FOUNDATION MUST BE TAKEN THROUGH THE TOPSOIL.

CONCRETE FOOTING - DETAIL 2
1:10



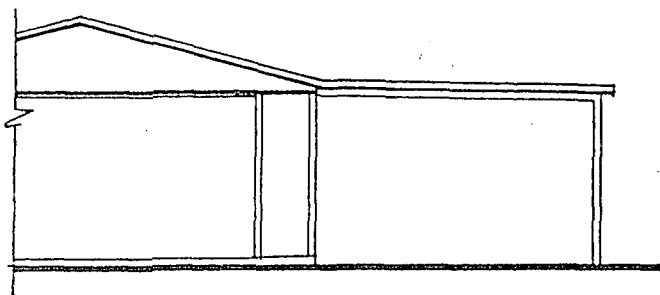
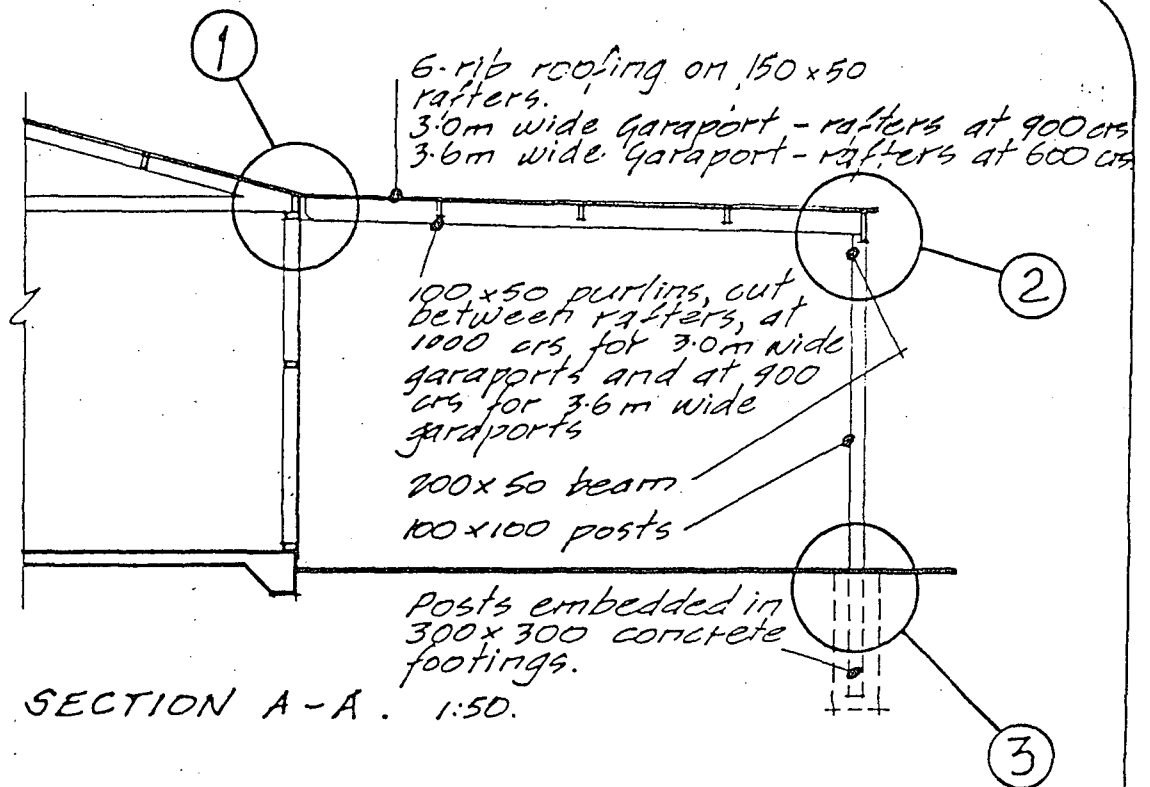
SPECIFICATION

- FOUNDATIONS** Concrete floor 17.5 MPa 100mm thick;
- TIE DOWNS** 2-3-55 galv.wire or 10mm dia x 160 galv bolts cast-in or D12098 Dynaballs at max 1200 crs.
- DAMP COURSE** 2 Ply O.P.C under all plates.
- FRAMING** All timber boric treated machine gauged radiata.
All framing is housed, i.e. studs checked into plates & dwangs checked into studs, all studs at 600 crs
Max height of 3.0m - 100x50, 3.6m - 150x50.
- SIDE ENTRY OPENING LINTELS**
Max span 2.2 150 x 100 lintel
Max span 3.0 200 x 100 lintel
Max span 4.5 300 x 100 lintel
Max span 4.8 300 x 100 lintel
Trusses butted to lintel with 94 x 47 lumbarlock joint hanger
Side door timber framed-steel clad each side. Over doors 0.4mm metal panel on overhead carriage door gear or roller doors.
- DOOR BEAMS** Gable overdoor openings have standard truss lintel, see under Roof trusses.
- WALL BRACES** Steel angle brace 27x22 cut into plates & studs, as NZS 3604.
- ROOF TRUSSES** Design cert. CH 3093. All trusses at 15° unless specified otherwise. Max. spacing 1800 crs at 0.6 kPa snow load.
Up to 6.0m span 1 row 100x50 on edge
Over 6.0m span 2 rows 100x50 on edge
100x50 on edge at max 900 crs
- TRUSS STIFFENER** 100x50 on flat over top plate at each corner. Applies to buildings up to 5.4 x 5.4, then strap bracing is used.
- PURLINS** 0.4mm steel long-run Rib Roof, 0.4mm steel ridge capping.
- DRAGON TIES** 0.55mm gutters 250 wide each side of garage, color steel.
- ROOFING** Profile Colorsteel Superclad 300'
- SPROUTING** built for:
- EXTERIOR CLADDING** built for:

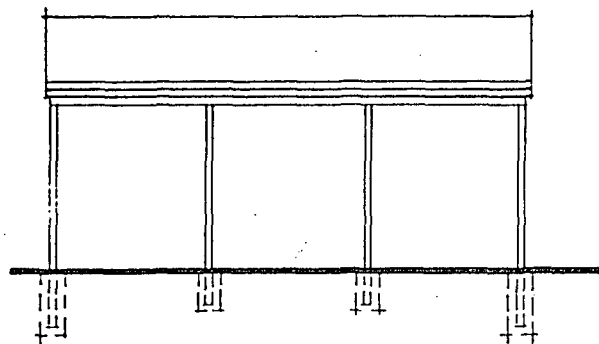
PLANS APPROVED SUBJECT TO ALL REQUIREMENTS OF THE BUILDING ACT 1991 BEING FULLY COMPLIED WITH

Date 4-6-99 Consent Number 970576

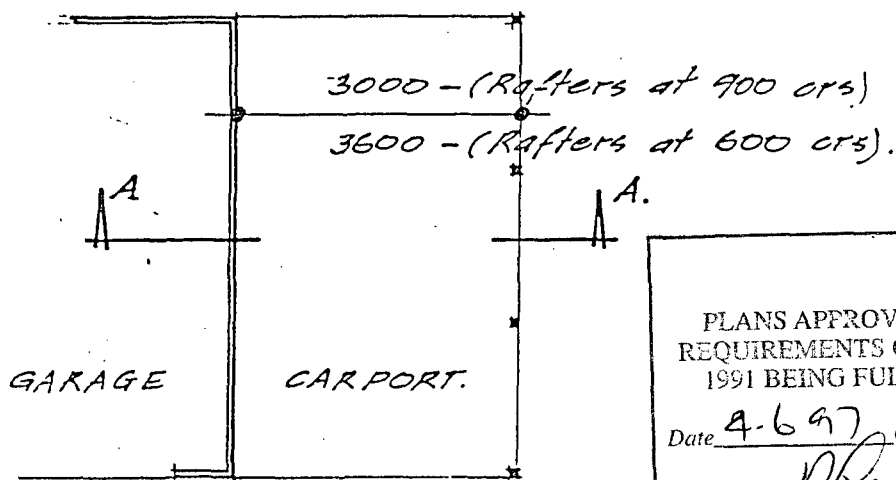
Officer R. Lawrence (CP)



FRONT ELEVATION



SIDE ELEVATION.



PLAN 1:100

PLANS APPROVED SUBJECT TO ALL REQUIREMENTS OF THE BUILDING ACT 1991 BEING FULLY COMPLIED WITH

Date 4.6.97 Consent Number 97/0576

Officer Pharmace (S)

SCALE: 1:100 1:50 1:5
 DATE: Jan. 1994

DRAWN: J.G.

sheet.
 of.